

DATE OF MEETING | February 22, 2021 |

AUTHORED BY | LISA BRINKMAN, PLANNER, CURRENT PLANNING |

SUBJECT | DEVELOPMENT PERMIT APPLICATION NO. DP1209 AND HOUSING AGREEMENT HA04 – 702 NICOL STREET |

OVERVIEW

Purpose of Report

To present for Council’s consideration, a development permit application and housing agreement for a personal care facility with 59 supportive housing units at 702 Nicol Street. |

Recommendation

That Council issue Development Permit No. DP1209 at 702 Nicol Street, subject to the City receiving a Freeze Release from the Ministry of Environment, with the following variances:

- increase the maximum permitted building height from 14m to 15.6m;
- increase the maximum permitted fence height from 1.8m to 3.3m in the rear yard;
- reduce the minimum required landscape buffer width from 1.8m to 0m on portions of the side property lines; and
- reduce the minimum required parking spaces from 12 spaces to 7 spaces.

And that:

1. “Housing Agreement Bylaw 2021 No. 7322” (to secure unit affordability) pass first reading;
2. “Housing Agreement Bylaw 2021 No. 7322” pass second reading;
3. “Housing Agreement Bylaw 2021 No. 7322” pass third reading; and
4. Council direct Staff to register a covenant on the title of the land to reinforce the terms of the housing agreement. |

BACKGROUND

A development permit application, DP1209, has been received from S2 Architecture Interior Design on behalf of the Provincial Rental Housing Corporation (BC Housing) for a four-storey personal care facility with 59 supportive housing units and an accessory community meeting space at 702 Nicol Street.

Subject Property and Site Context:

<i>Zoning</i>	Community Corridor (COR3)
<i>Location</i>	The subject property is located on the corner of Nicol Street and Robins Street in South Nanaimo, in close proximity to transit and downtown services.
<i>Total Area</i>	2,430 m ²
<i>Official Community Plan (OCP)</i>	Map 1 – Future Land Use Plan – Urban Corridor Map 3 – Development Permit Area No. 9 - Commercial, Industrial, Institutional, Multiple Family and Mixed Commercial/Residential development
<i>South End Neighbourhood Plan</i>	Map 1 – Neighbourhood Land Use – Corridor Mixed Use
<i>Relevant Design Guidelines</i>	General Development Permit Area Design Guidelines South End Neighbourhood Plan – Urban Design Framework and Guidelines

The subject property is located in south Nanaimo on a vacant site bounded by Nicol Street, Robins Street, and a lane. The surrounding neighbourhood includes Value Lodge Hotel, single family homes, and retail services.

DISCUSSION

The applicant is proposing a four-storey personal care facility which includes 59 supportive housing units, and an accessory community meeting space.

Site Design

The building is set back 4.5m from the front property line along Nicol Street, and the primary building entrances face Nicol Street. Two outdoor amenity areas, bike storage building, and garbage/recycling enclosure are proposed at the rear of the property. Vehicle access to the property is from Robins Street, and seven parking spaces are provided on site. The lane at the rear will be improved and widened along the length of the property.

Building Design

A four-storey modular wood-frame building is proposed. The main floor of the building will contain the community meeting space (128m²), staff offices, kitchen, laundry, lounge, dining area and three units. The upper three storeys of the building contain 56 units.

Generous glazing is proposed for the first storey facing Nicol Street. A canopy extends along the length of the front façade, which defines the ground floor and provides weather protection for the primary building entrances. The raised entry area is accessed by both stairs and a wheelchair ramp. The exterior façade materials consist of fibre cement paneling and wood-like fibre cement plank. The arrangement of the wood and white fibre cement panels on the façades of the building provide interest and break the massing of the building.

A floor area ratio (FAR) of 1.25 is proposed, with a total building gross floor area of 3,049.6m². The COR3 zone allows a base density of 0.75. In accordance with the COR3 zone and Schedule D of the “City of Nanaimo Zoning Bylaw 2011 No. 4500” (the “Zoning Bylaw”), the applicant is proposing to achieve an FAR of 1.25 by providing amenities outlined on Attachment A to this report, such as:

- Building construction that will meet the requirements of Step 3 of the BC Energy Step Code, which exceeds the requirement specified in “Building Bylaw 2016 No. 7224” by two steps;
- Providing an enclosed building for the storage of 22 bikes; and
- Two charging stations for electric bikes.

Landscape Design

A landscape buffer with shrubs and trees is provided in sections around three sides of the property. Street trees will be placed along Nicol Street. Two outdoor amenity areas are provided: one separate outdoor area for a family, and a larger outdoor area is for the other residents. A cedar fence, 1.8m in height, is located around the outdoor amenity areas and will be sited on the proposed retaining wall at the rear of the property (along the lane). The larger outdoor amenity area contains benches and vegetable garden planters. A hard surface

pedestrian path is located around the building with connections to the Nicol Street and Robins Street sidewalks. Exterior lighting will be placed to illuminate the entrances and the pedestrian walkways.

The proposed development meets the intent of the design guidelines in the South End Neighbourhood Plan and the General Development Permit Area Design Guidelines.

Housing Agreement Bylaw 2021, No. 7322

The applicant is proposing to enter into a Housing Agreement with the City to ensure two commitments for the development:

1. That 100% of the units will be occupied by low- to moderate-income individuals and that if, in the future, rent is charged to those individuals, the rent shall not exceed the shelter allowance provided by the BC Ministry of Social Development and Poverty Reduction. Meeting this criteria is one of the steps required for eligibility for a development cost charge reduction in accordance with the “City of Nanaimo Development Cost Charge Bylaw 2017 No. 7252”. The applicant is exceeding the criteria by 50%.
2. That 100% of the units shall not be stratified or sold independently for at least 15 years after the date of issuance of the occupancy certificate for the building. The applicant is proposing to meet this criteria as one of the conditions for achieving additional density (Zoning Bylaw, Schedule D). The applicant is exceeding the criteria by 50%.

The attached “Housing Agreement Bylaw 2021 No. 7322” would authorize the City of Nanaimo to enter into a housing agreement with the property owner to ensure the above-mentioned two commitments. Once registered on the property title with a covenant, the housing agreement would be bound to the property in perpetuity.

Design Advisory Panel

The Design Advisory Panel, at its meeting held on 2021-JAN-14, accepted DP1209 as presented with support for the proposed variances and provided the following recommendations:

- Review all tree selections to ensure suitability for the local climate, and
- Give further consideration to Staff comments provided.

The applicant revised the landscape plan by incorporating tree species that are more suitable for the Nanaimo area. Also, the applicant responded to Staff comments by improving the pedestrian path to the Robins Street sidewalk, improving the façades of the building to create a more residential character and to add interest, improving the landscaping around the garbage enclosure, and by adding benches in the front yard area.

Community Consultation

BC Housing hosted two neighbourhood meetings via Zoom in December 2020 to obtain community input related to building and landscape design. In response, BC Housing made the following revisions to the plans for 702 Nicol Street:

- Added more natural finishes to the building exterior to better blend with the neighbourhood;
- Revised the proposed fence design and the location of the gazebo in the rear yard area; and
- Added three parking spaces, such that a total of 7 parking spaces is provided.

Freeze Release – Ministry of Environment

The subject property is the site of a former gas station, thus a Contaminated Sites Approved Professional has submitted a Freeze Release request to the Ministry of Environment, on behalf of BC Housing, requesting approval for the proposed residential use on the property. The City is required to receive the Freeze Release approval from the Ministry of Environment prior to issuance of the Development Permit.

Proposed Variances

Building Height

The maximum allowable building height is 14m, the proposed building height of the residential building is 15.6m; a proposed variance of 1.6m.

The subject property is designated as 'Corridor Mixed Use' in the South End Neighbourhood Plan, and a building height of four storeys is supported in this designation. In addition, due to the structural requirements of the individual modular units and the construction method used to join the units, a modular building is generally slightly taller than a similar building using traditional construction methods. Also, raised parapets have been added along the roofline to add character to the building.

Fence Height

The maximum allowable fence height is 1.8m in the rear yard; the proposed combined height of the retaining wall with fence in the rear yard is 3.3m.

An existing retaining wall along the rear property line will be removed and the lane will be widened onto the subject property (with a statutory right-of-way). A new retaining wall 1.47m in height will be constructed, and a wood fence 1.8m in height is proposed to be located on the retaining wall to surround the outdoor amenity areas. It is anticipated a guardrail may also be needed on the retaining wall outside of the fence along the lane frontage.

Minimum Landscape Treatment Level

The Zoning Bylaw requires a minimum landscape buffer width of 1.8m along the side property lines. A variance to the required landscape buffer width, from 1.8m to 0m, is proposed for portions of the north and south side property lines.

The landscape buffer variance along the north property line is adjacent to the 7 parking spaces. It is a constrained site, and to achieve the drive aisle width and standard parking space length, a variance to the landscape buffer width is required.

The landscape buffer variance along the south property line is adjacent to the utility box and part of the outdoor family amenity area. The utility box is screened with landscaping on two sides, and a fence 1.8m in height will screen the outdoor family area.

Off-Street Parking

The minimum required off-street parking for the proposed development is 12 parking spaces (0.2 spaces per sleeping unit). The proposed number of parking spaces is 7; a variance of 5 parking spaces.

In accordance with the City's Policy for Consideration of a Parking Variance, the applicant provided a Parking Variance Report prepared by Watt Consulting Group (2021-JAN-11). The applicant has demonstrated that the proposed variance is supportable given the following justifications:

- Increasing the number of parking spaces on the property will reduce the area available for features such as outdoor amenity spaces, pedestrian walkways, the bike storage building, landscape buffers, and widening of the lane.
- The Watt Consulting Group report reviewed the parking demands of existing supportive housing developments in BC and concludes that the parking demands for the 702 Nicol Street development is 4 parking spaces for residents, 4 parking spaces for staff, and 5 parking spaces for visitors. The development provides 7 parking spaces onsite and the report indicates that on-street parking will need to be utilized for the remaining parking demand.
- Watt Consulting Group reviewed the on-street parking and concluded there is sufficient on-street parking available on Robins Street and Strickland Street, and that the on-street parking on these streets is currently under-utilized. Staff have reviewed the parking study and on-street parking capacity in this area and concur with this conclusion.
- In accordance with the Nanaimo Transportation Master Plan, the proposed development is supporting active transportation by providing an enclosed shelter for 22 bicycles, with two stations to charge electric bikes. Also, the property is within 130m of a bus stop for northbound trips to downtown, and within 300m of a bus stop for southbound trips to the Cinnabar Valley area and South Park Plaza.
- The subject property is located in a Mobility Hub buffer area (Nanaimo Transportation Master Plan), thus active transportation infrastructure such as bike lanes, bus routes, and sidewalks will continue to be improved in this area.

Staff support the proposed variances.

SUMMARY POINTS

- Development Permit Application No. DP1209 and "Housing Agreement Bylaw 2021 No. 7322" is for a personal care facility with 59 supportive housing units at 702 Nicol Street.
- Variances are requested to allow an increased building and fence height, a reduction in the landscape buffer width, and reduced parking requirement.
- The proposed development addresses the City's design guidelines and Staff support the proposed variances.

ATTACHMENTS

ATTACHMENT A: Permit Terms and Conditions
ATTACHMENT B: Context Map
ATTACHMENT C: Location Plan
ATTACHMENT D: Site and Parking Plans
ATTACHMENT E: Building Elevations and Details
ATTACHMENT F: Building Rendering and Exterior Materials
ATTACHMENT G: Building and Retaining Wall Sections
ATTACHMENT H: Landscape Plan and Details
ATTACHMENT I: Schedule D – Amenity Requirements for Additional Density
ATTACHMENT J: Aerial Photo
“Housing Agreement Bylaw 2021 No. 7322” |

Submitted by:

Lainya Rowett
Manager, Current Planning |

Concurrence by:

Jeremy Holm
Director, Development Approvals

Dale Lindsay
General Manager, Development Services |

ATTACHMENT A

PERMIT TERMS AND CONDITIONS

TERMS OF PERMIT

The “City of Nanaimo Zoning Bylaw 2011 No. 4500” is varied as follows:

1. *Section 6.10.2 Fence Height* – to increase the maximum allowable fence height from 1.8m to 3.3m in the rear yard.
2. *Section 9.7.1 Size of Buildings* – to increase the maximum allowable building height from 14m to 15.6m.
3. *Section 17.1.1 Required Landscaping* – to reduce the minimum required landscape buffer width from 1.8m to 0m on the north and south side property lines.

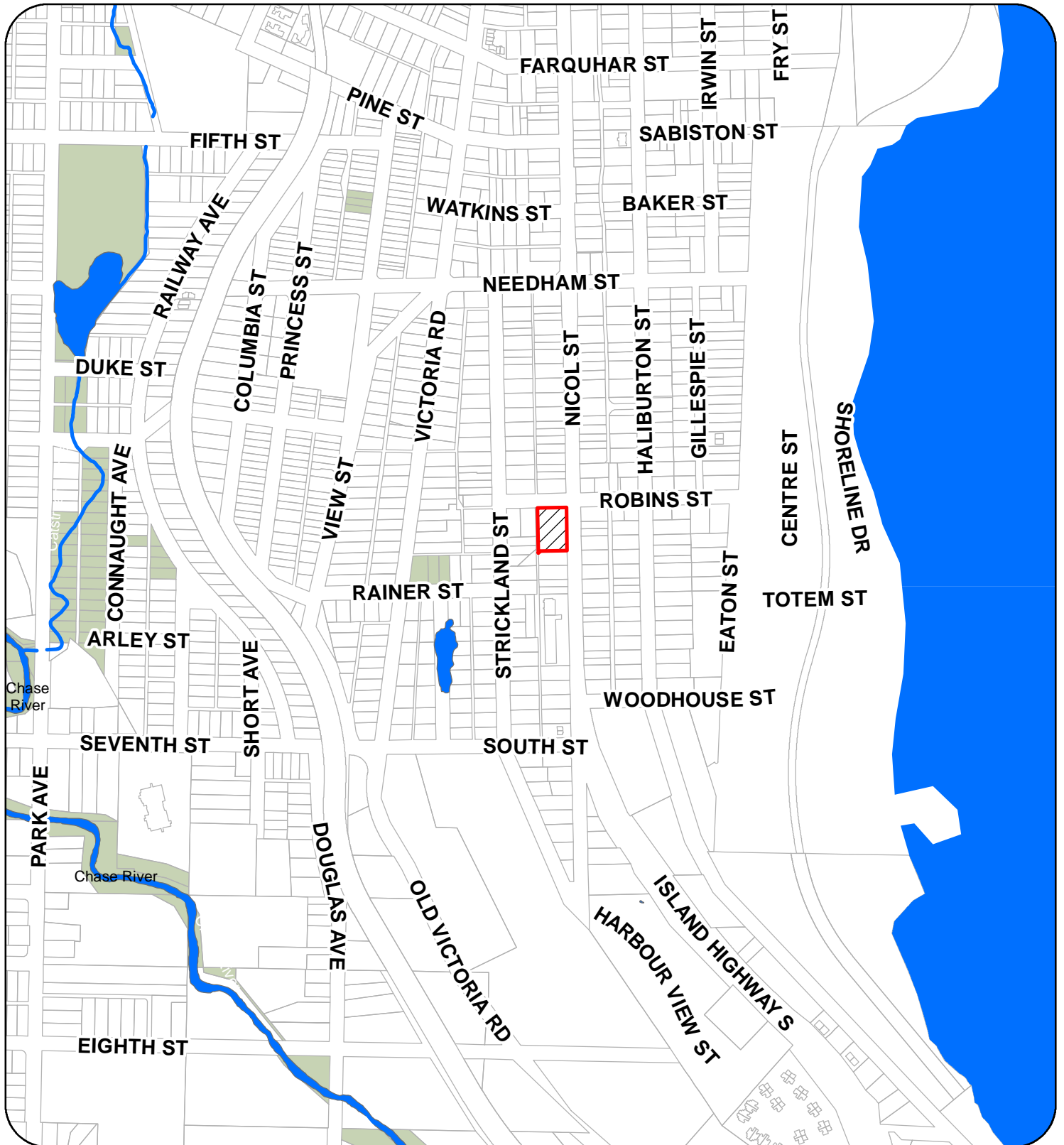
The City of Nanaimo “Off-Street Parking Regulations Bylaw 2018 No. 7266” is varied as follows:

1. *Section 7.2 All Other Uses Parking Table* – to reduce the minimum required number of off-street parking spaces from 12 to 7.

CONDITIONS OF PERMIT

1. The subject property is developed generally in accordance with the Site and Parking Plans prepared by S2 Architecture and Design, dated 2021-FEB-10, as shown on Attachment D.
2. The development is in substantial compliance with the Building Elevations and Details prepared by S2 Architecture and Design, dated 2021-FEB-10, as shown on Attachment E.
3. The subject property is developed in substantial compliance with the Landscape Plan and Details prepared by WSP Landscape Architecture, dated 2021-FEB-10, as shown on Attachment H.
4. Prior to issuance of a building permit, the applicant must register a statutory Right-of-Way to allow for a public lane to be located on the property.
5. The subject property is developed in accordance with the ‘Schedule D – Amenity Requirements for Additional Density’ prepared by S2 Architecture and Design, received 2021-JAN-15, as shown on Attachment I, and is to include the following items:
 - *A letter from the coordinating professional submitted prior to Building Permit issuance outlining how the required items for additional density will be achieved; and,*
 - *A letter from the coordinating professional with accompanying evidence submitted prior to building occupancy demonstrating the required items have been provided.*

ATTACHMENT B CONTEXT MAP



DEVELOPMENT PERMIT APPLICATION NO. DP001209 - 702 NICOL STREET



702 NICOL STREET

**ATTACHMENT C
LOCATION PLAN**



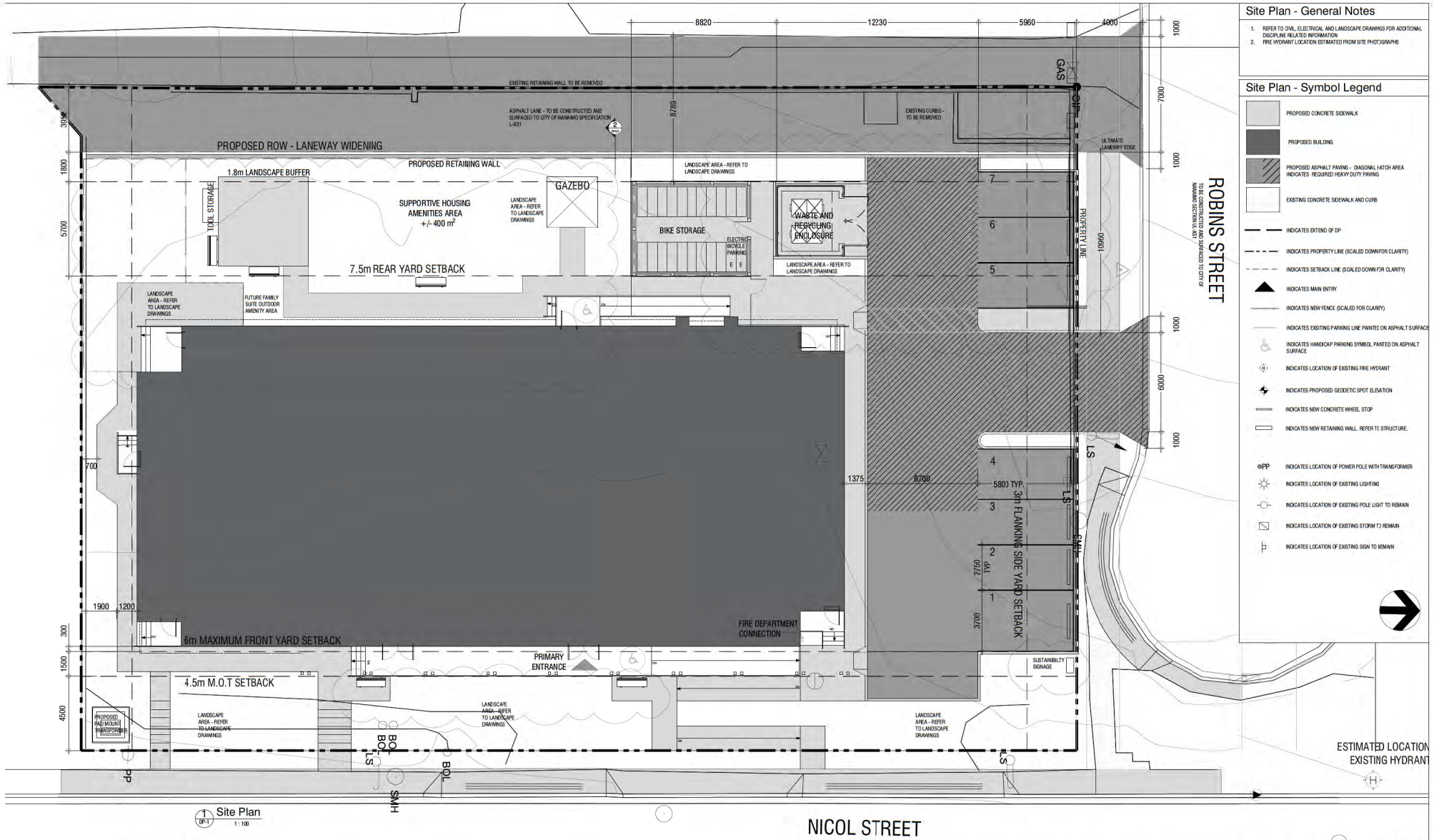
DEVELOPMENT PERMIT APPLICATION NO. DP001209

CIVIC: 702 NICOL STREET

LEGAL: LOT A, SECTION 1, NANAIMO DISTRICT, PLAN 41876

 **Subject Property**

ATTACHMENT D SITE AND PARKING PLANS



THESE DRAWINGS AND DESIGNS ARE THE SOLE PROPERTY OF HORIZON NORTH AND MAY NOT BE REPRODUCED OR SUBMITTED TO OUTSIDE PARTIES WITHOUT THE EXPRESSED WRITTEN CONSENT OF HORIZON NORTH

No.	Y	M	D	REVISION	BY	CHKD
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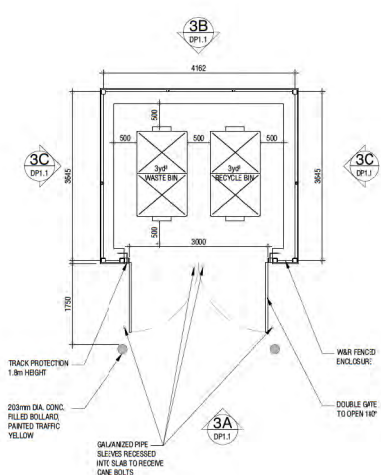
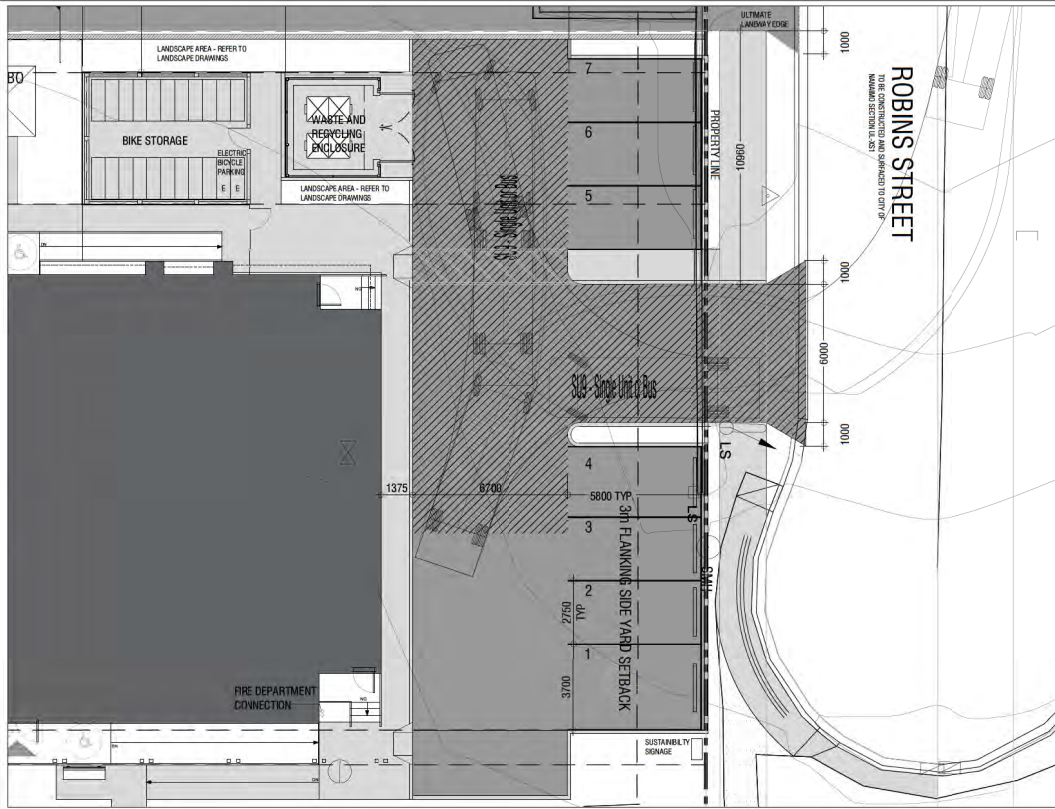
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BC HOUSING
TRANSITIONAL HOUSING
702 NICOL ST., NANIAMO, BC
SITE PLAN

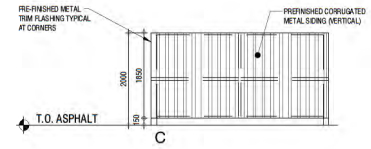
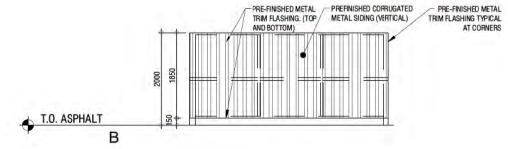
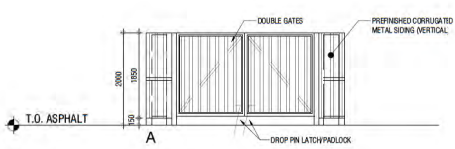
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DP1.0



2 Garbage Enclosure Plan
DPI 1
1:50



1 W&R Turning Radius
DPI 1
1:100



3 Garbage Enclosure Elevations
DPI 2
1:50

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01	02/16/21			HEIRED FOR DEVELOPMENT PERMIT	HPH	CHD

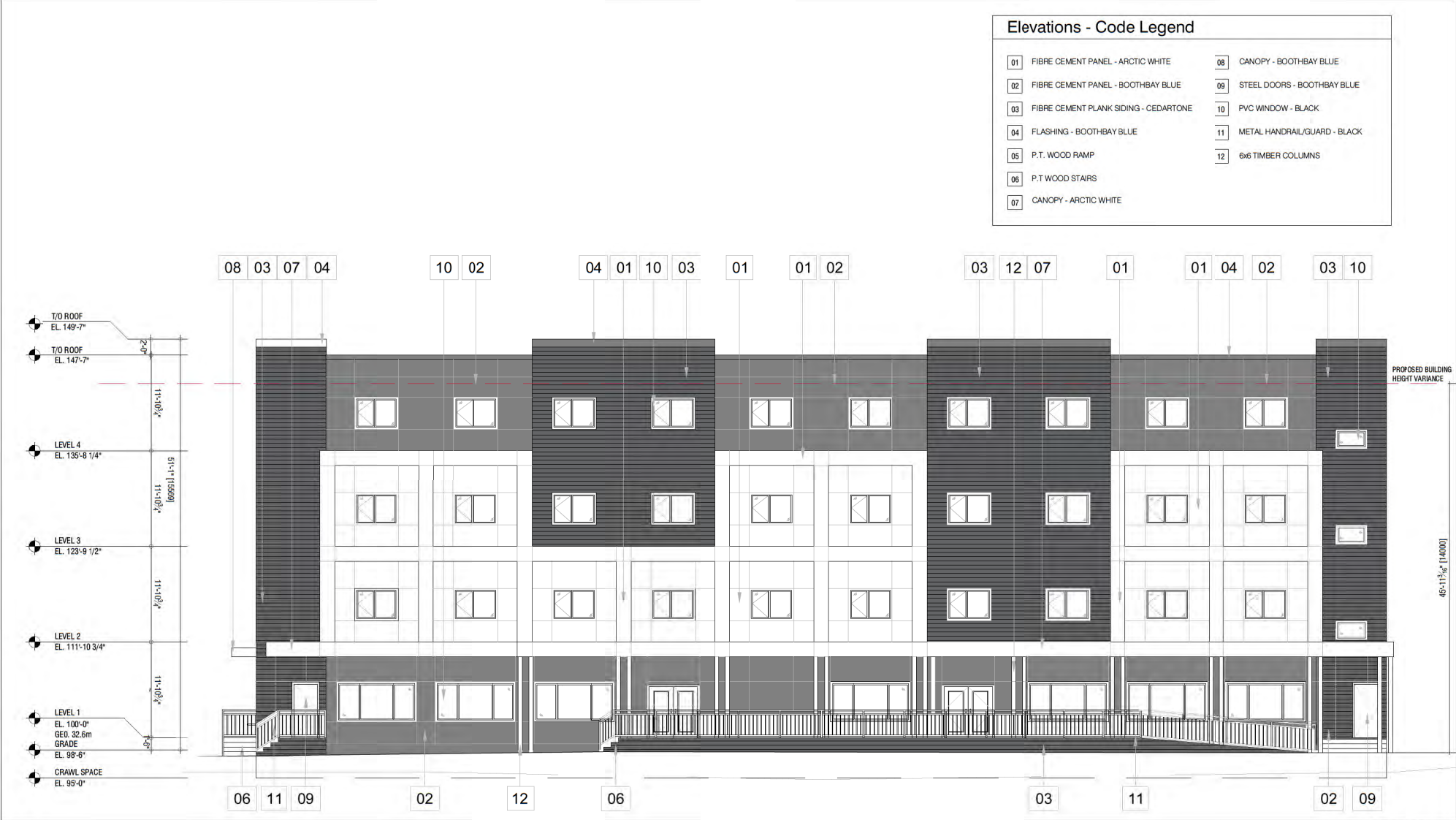


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BC HOUSING
TRANSITIONAL HOUSING
702 NICOL ST., NANIAMO, BC
W&R TURNING RADIUS & DETAILS

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DP-1209
2021-FEB-10

ATTACHMENT E BUILDING ELEVATIONS AND DETAILS



01	FIBRE CEMENT PANEL - ARCTIC WHITE	08	CANOPY - BOOTHBAY BLUE
02	FIBRE CEMENT PANEL - BOOTHBAY BLUE	09	STEEL DOORS - BOOTHBAY BLUE
03	FIBRE CEMENT FLANK SIDING - CEDARTONE	10	PVC WINDOW - BLACK
04	FLASHING - BOOTHBAY BLUE	11	METAL HANDRAIL/GUARD - BLACK
05	P.T. WOOD RAMP	12	6x6 TIMBER COLUMNS
06	P.T WOOD STAIRS		
07	CANOPY - ARCTIC WHITE		

1 EAST ELEVATION
DP3.0 SCALE: 3/16" = 1'-0"

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2021-FEB-10
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2				REVISED PERMIT ELEVATION	TTT	CSZ

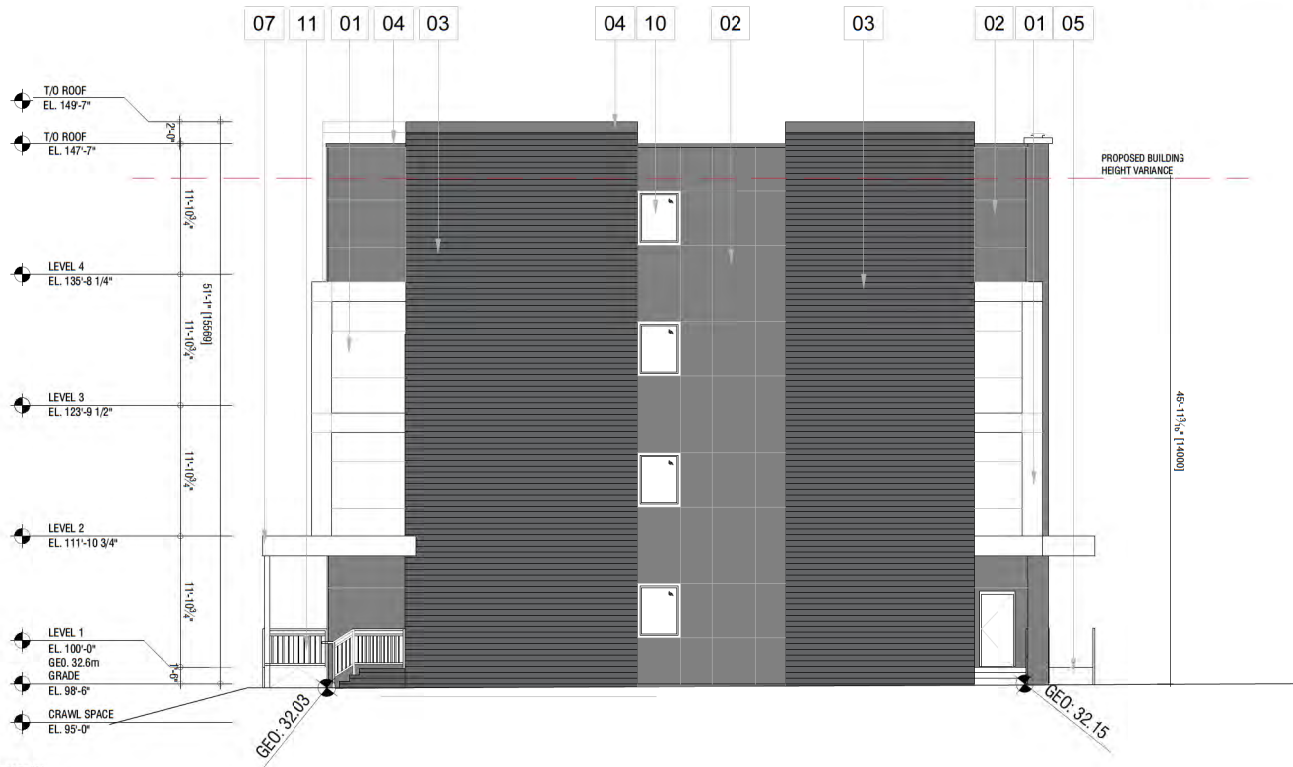


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DATE	

BC HOUSING
TRANSITIONAL HOUSING
702 NICOL ST., NANIAMO, BC
EAST ELEVATION

DWG No.: **DP3.0**

Elevations - Code Legend			
01	FIBRE CEMENT PANEL - ARCTIC WHITE	08	CANOPY - BOOTHBAY BLUE
02	FIBRE CEMENT PANEL - BOOTHBAY BLUE	09	STEEL DOORS - BOOTHBAY BLUE
03	FIBRE CEMENT PLANK SIDING - CEDARTONE	10	PVC WINDOW - BLACK
04	FLASHING - BOOTHBAY BLUE	11	METAL HANDRAIL/GUARD - BLACK
05	P.T. WOOD RAMP	12	6x6 TIMBER COLUMNS
06	P.T. WOOD STAIRS		
07	CANOPY - ARCTIC WHITE		



1 NORTH ELEVATION
DP3.2 / SCALE: 3/16" = 1'-0"

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DP1209
2021-FEB-10

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2				REVISED FOR DEVELOPMENT PERMIT	MM	CS



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BC HOUSING
TRANSITIONAL HOUSING
702 NICOL ST., NANIAMO, BC
NORTH ELEVATION

DWG No.: **DP3.1**

Elevations - Code Legend

- 01 FIBRE CEMENT PANEL - ARCTIC WHITE
- 02 FIBRE CEMENT PANEL - BOOTHBAY BLUE
- 03 FIBRE CEMENT PLANK SIDING - CEDARTONE
- 04 FLASHING - BOOTHBAY BLUE
- 05 P.T. WOOD RAMP
- 06 P.T WOOD STAIRS
- 07 CANOPY - ARCTIC WHITE
- 08 CANOPY - BOOTHBAY BLUE
- 09 STEEL DOORS - BOOTHBAY BLUE
- 10 PVC WINDOW - BLACK
- 11 METAL HANDRAIL/GUARD - BLACK
- 12 6x6 TIMBER COLUMNS



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BC HOUSING
TRANSITIONAL HOUSING
 702 NICOL ST., NANIAMO, BC
 WEST ELEVATION

DWG No:
DP3.2

Elevations - Code Legend

01	FIBRE CEMENT PANEL - ARCTIC WHITE	08	CANOPY - BOOTHBAY BLUE
02	FIBRE CEMENT PANEL - BOOTHBAY BLUE	09	STEEL DOORS - BOOTHBAY BLUE
03	FIBRE CEMENT PLANK SIDING - CEDARTONE	10	PVC WINDOW - BLACK
04	FLASHING - BOOTHBAY BLUE	11	METAL HANDRAIL/GUARD - BLACK
05	P.T. WOOD RAMP	12	6x6 TIMBER COLUMNS
06	P.T. WOOD STAIRS		
07	CANOPY - ARCTIC WHITE		



1 SOUTH ELEVATION
DP3.3 / SCALE: 3/16" = 1'-0"

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DP1209
2021-FEB-10
CITY OF VANCOUVER

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DATE OF	
REVISION	

BC HOUSING
TRANSITIONAL HOUSING
702 NICOL ST., NANIAMO, BC
SOUTH ELEVATION

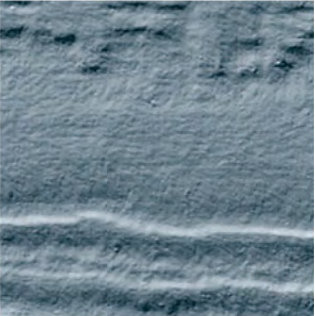
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ATTACHMENT F BUILDING RENDERING AND EXTERIOR MATERIALS

MATERIAL BOARD



1. Fibre Cement Panel
White



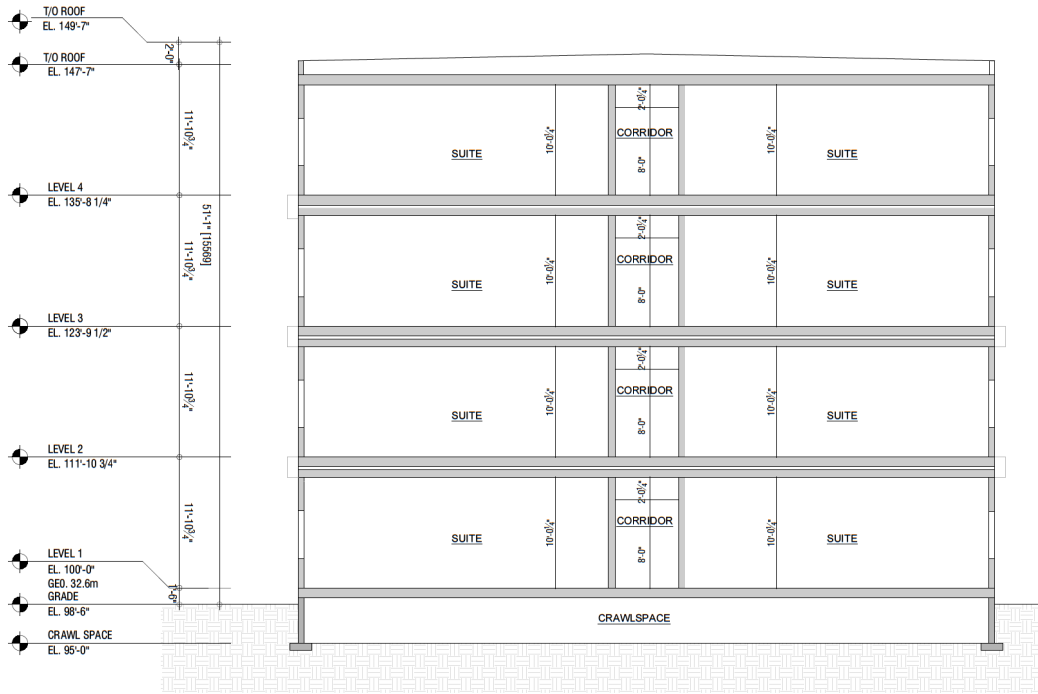
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Boothbay Blue



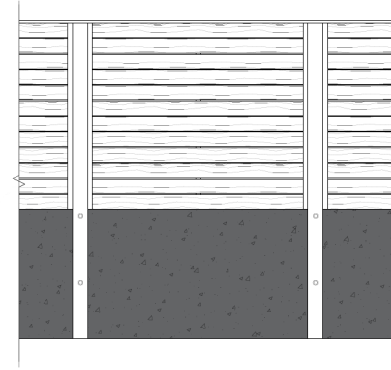
3. Fibre Cement Plank Siding
Wood Look



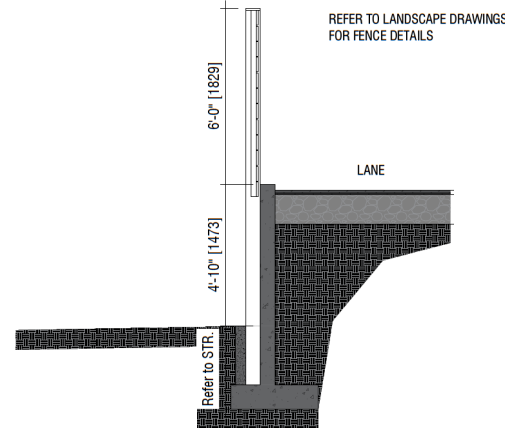
ATTACHMENT G BUILDING AND RETAINING WALL SECTIONS



1 SECTION
DP4.0 SCALE: 3/16" = 1'-0"



2 RETAINING WALL / FENCE ELEVATION
DP4.0 SCALE: 1/2" = 1'-0"



3 RETAINING WALL / FENCE SECTION
DP4.0 SCALE: 1/2" = 1'-0"

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DP1209
2021-FEB-10
CURRENT PLANNING

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No.	Y	M	D	REVISION	BY	CHKD
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1		20	10	23	ISSUED FOR DEVELOPMENT PERMIT	MMT C/Z

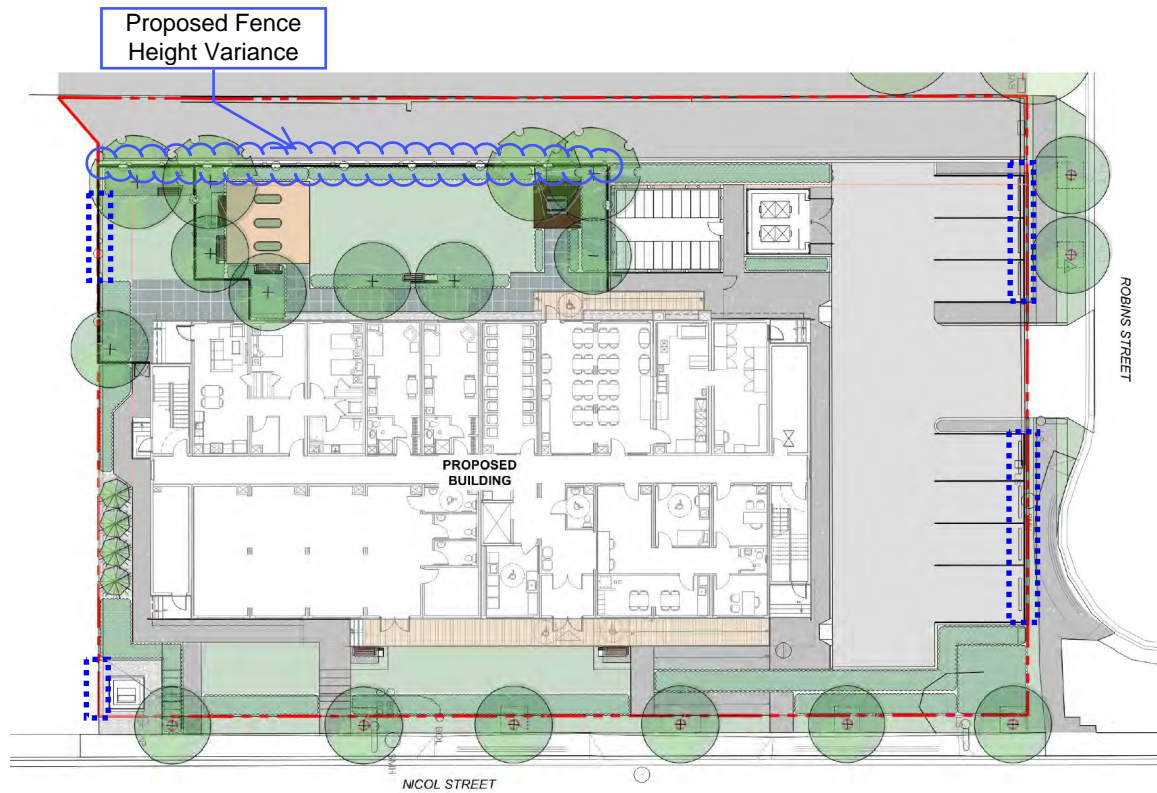


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BC HOUSING
TRANSITIONAL HOUSING
702 NICOL ST., NANIAMO, BC
SECTION

DWG No:
DP4.0

ATTACHMENT H LANDSCAPE PLAN AND DETAILS



BCH NICOL STREET

702 Nicol Street, Nanaimo, B.C.

ISSUED FOR REVISED DEVELOPMENT PERMIT

DRAWING LIST

NO.	DESCRIPTION
L-00	COVER
L-01	EXISTING CONDITIONS & TREE MANAGEMENT PLAN
L-02	LANDSCAPE PLAN
L-03	PLANTING PLAN
L-04	DETAILS
L-05	DETAILS
L-06	DETAILS
L-07	DETAILS

WSP LANDSCAPE ARCHITECTURE

Michael Holm
Senior Project Manager
Email: michael.holm@wsp.com
Phone: (604) 631-9637

Lisa Ng
Landscape Designer
Email: lisa.ng@wsp.com
Phone: (604) 601-6836

= Proposed Landscape Buffer Variance Locations

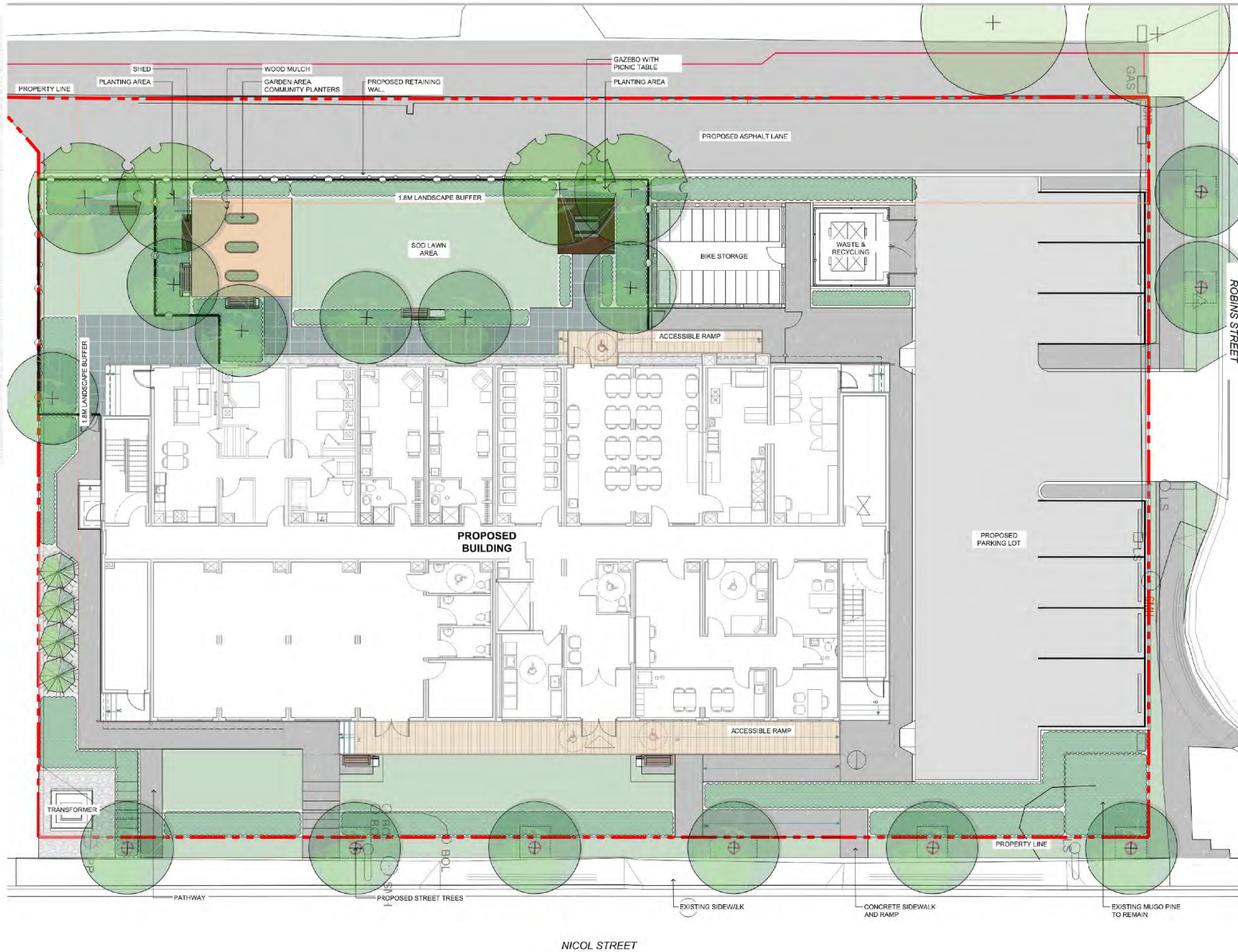
LANDSCAPE

GENERAL NOTES

- Landscape installation to be compliant with Canadian Landscape Standards (full document applies). It is expected that Landscape Trades will have a current copy of the document (digital or hardcopy) present with them on site at all times.
- Questions (RFI's) pertaining to landscape to be immediately submitted to Contract Administrator for clarification whom will contact Landscape Architect for response.
- All planting areas to have an water efficient irrigation system provided by contractor. System details to be provided by irrigation designer or contractor.
- Submit to landscape include but are not limited to:
 - Shop drawings on all specified furnishings including notes on colour and dimensions
 - Shop drawings on all custom site elements
 - Asot report submittal (compliant with "Level 2P" for shrub/tree plantings in accordance with the Canadian Landscape Standard)
 - A request for the Landscape Architect to pre-review trees/shrubs for the project at the nursery in advance of delivery to site. Note that the Landscape Architect requires the process for reviews to occur immediately upon award as to prevent issues with timeline. If quantities of a shrub or tree are minimal, photo submittals will be reviewed as an alternate. Note that all treated/stock stock is to be sourced from the Pacific Northwest (BC, Washington, Oregon). The contractor will be expected to prove an exhausted search was provided in sourcing material before alternatives of plant material are considered.
 - Bank mulch to be organic composted mulch, compliant with Canadian Landscape Standards (dark brown colour). Submit 1L sample or website information prior to purchase
 - Unit paving and hard-surface materials to be submitted for verification on colour, size and pattern
 - Compaction testing of base preparation (85% MPD)
- Landscape critical review meetings include (but are not limited to):
 - Tree protection fencing setup requires a review by the arborist prior to construction.
 - Project kick-off on landscape, and review of stockpile and preservation of existing materials
 - Mobilization of soils and furnishing works requires furnishings to be reviewed after delivery to site to review for damage). Note that soils may be tested up to 2 times for verification of compliance of mix at the Contractor's cost, if material is suspected to be non-compliant. See notes above on submittals.
 - Mobilization of custom works (i.e. wooden walkway or bench), if applicable to contract, will be required for a critical review meeting of proposed layout and connections
 - Delivery of the plant material to site (mobilization of planting works)
 - 1 additional interim planting review
 - Substantial review of the landscape (soil cleanup to be complete prior to calling for review)
 - Total performance of the landscape
 - Mobilization of fitwork.
- Landscape Maintenance to be provided complete through substantial completion and until all deficiencies are amended. Maintenance to be compliant with "Level 2" (weeds no larger than 2" diameter) in accordance with Canadian Landscape Standard.
- Establishment watering to be compliant with Canadian Landscape Standards. Landscapes to be maintained at 75% moisture content availability in soils, as defined in "Establishment Watering" requirements of the Canadian Landscape Standard. Ensure landscape is watered adequately to prevent detriment to plant health prior to use of irrigation system. If a water ban is in place within the city, notify Contract Administrator.
- Warranty on all landscape to be 1 year, unless noted otherwise.
- All landscape and irrigation works to be constructed as per the City of Nanaimo standard details. Refer to: McEBS - Section 14 Landscape.

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CITY OF NANAIMO

<p>LANDSCAPE ARCHITECTURE URBAN DESIGN PLANNING ENGINEERING 3000 - 180 HOWE STREET, VANCOUVER B.C. V6Z 2M1</p>	<p>PROJECT BCH 702 NICOL STREET NANAIMO, B.C.</p> <p>CLIENT BC HOUSING</p> <p>CONSULTANT WSP</p>	<p>ORIGINAL SIZE 600x900mm x 98.44cm (24" x 36")</p> <p>1 2021/06/01 ISSUED FOR REVISED DEVELOPMENT PERMIT MH</p> <p>0 2022/02/25 ISSUED FOR DEVELOPMENT PERMIT MH</p>	<p>SEALED</p>	<p>DESIGN BY MH</p> <p>DRAWN BY LN</p> <p>CHECKED BY RP</p> <p>PROJECT # 20M-C2M-00</p> <p>SCALE N/A</p>	<p>SHEET TITLE COVER</p> <p>SHEET NO.</p>
				<p>NO. DATE DESCRIPTION BY</p>	<p>SHEET NO. L-00</p>



SOFTSCAPE LEGEND

	1 & 2 L-04	PROPOSED TREES Minimum 900mm depth growing medium, complete with mulch. Refer to details. Install as per Canadian Landscape Standards.
	3 & 6 L-04	SHRUB PLANTING Minimum 450mm import growing medium complete with mulch. Refer to details. Install as per Canadian Landscape Standards.
	4 L-04	LAWN Minimum 150mm import growing medium. Refer to details.
	2 L-04	TREE PIT OUTLINE Location of tree pit as shown on plan. Refer to detail.
		GREENWELL WATER SAVER Large sized GreenWell Water Saver. 250mm height x 600mm Ø top x 570mm Ø bottom. Refer to site for more information: https://greenwellwatersavers.com/true-greenwell-information-large-size/

HARDSCAPE LEGEND

	2 L-05	CONCRETE Pedestrian rated access - 100mm thick
	3 L-05	GRAVEL Refer to detail for aggregate size and thickness.
	1 L-05	UNIT PAVERS Refer to detail for aggregate size and thickness.
	4 L-05	WOOD CHIPS At 100mm depth with filter fabric

SITE FURNISHING LEGEND

	2 L-06	BAYVIEW PARK BENCH Type: BV-6 Size: 72" W x 20" D x 27" H Supplier: Washburn Site Furnishings Installation: Bolt mounted, install as per manufacturer's specifications.
	1 L-06	RUTHERFORD PICNIC TABLE Type: RPT-3, wheelchair accessible Size: 72" W x 65" D x 30" H Supplier: Washburn Site Furnishings Installation: Bolt mounted, install as per manufacturer's specifications.
	5 & 6 L-05	PROPOSED 1.8m HIGH WOOD FENCE AND GATES Provide shop drawing of fence prior to fabrication. Refer to detail.
	3 L-06	GAZEBO Refer to detail for product specifications and sizes.
		SHED Detail to be provided.
	4 L-06	COMMUNITY PLANTER Refer to detail and install in accordance with manufacturer's specifications. Provide shop drawing submitted to verify product and features prior to purchase (typ).

NOTE REFER TO CIVIL DRAWINGS FOR ALL CRADING INFORMATION

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2021-FEB-10
Landscape Planning

LANDSCAPE ARCHITECTURE | URBAN DESIGN | PLANNING | ENGINEERING
3000, 340 HOWE STREET, VANCOUVER B.C. V6Z 2M4

PROJECT: **BCH 702 NICOL STREET | NANAIMO, B.C.**

CLIENT: **BC HOUSING**

CONSULTANT: **WSP**

ORIGINAL SIZE: 60350cm x 38440cm (24" x 36")

NO. DATE DESCRIPTION BY

1 2021/02/01 ISSUED FOR REVISED DEVELOPMENT PERMIT MH

0 2020/02/25 ISSUED FOR DEVELOPMENT PERMIT MH

SCALE: 1:100

SEAL: [Professional Engineer Seal]

DESIGN BY: MH

DRAWN BY: LN

CHECKED BY: RP

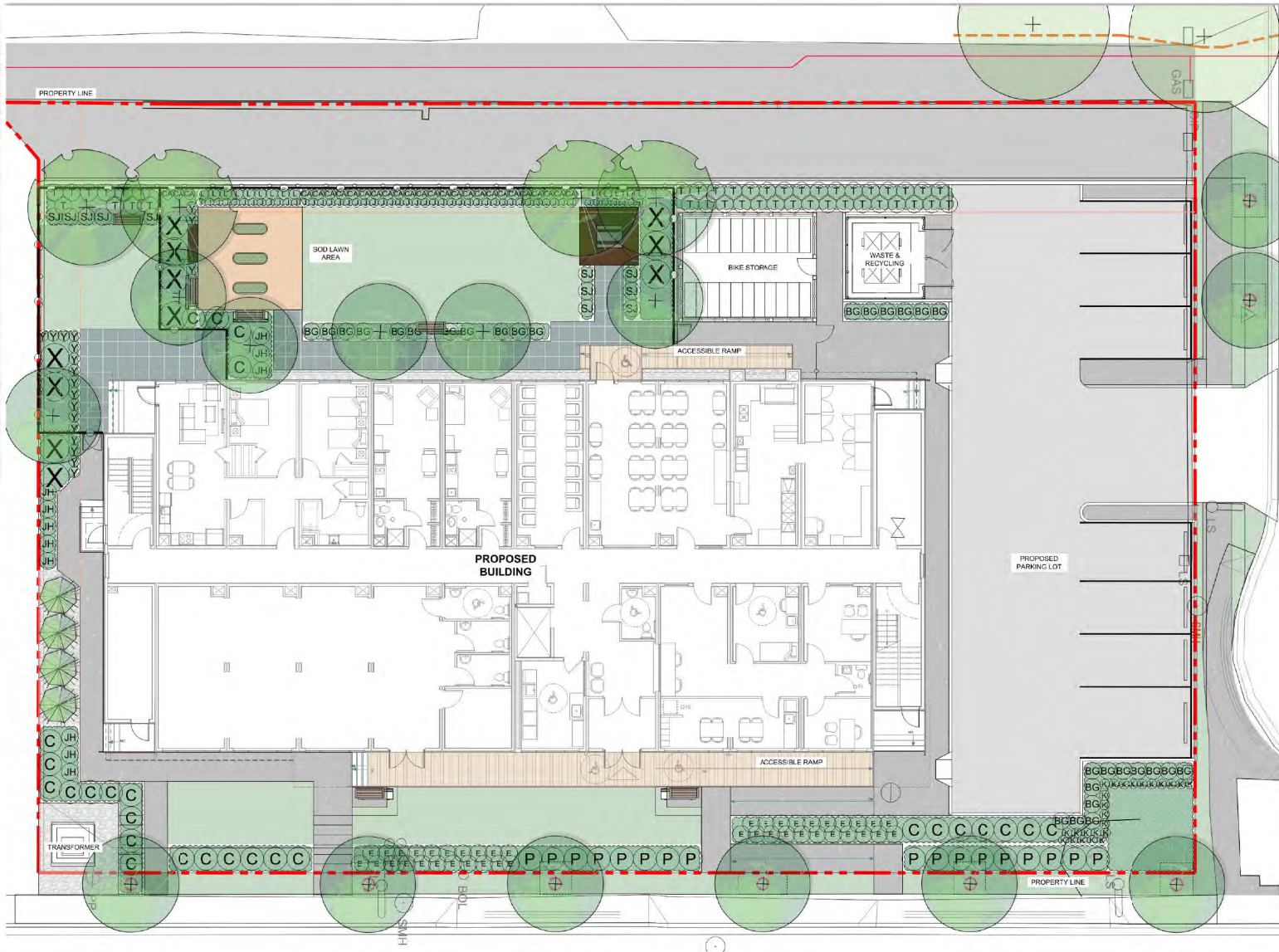
PROJECT #: 20M 0726 00

SHEET NO.:

SHEET TITLE: **LANDSCAPE PLAN**

SHEET NO.:

L-02



TREE SCHEDULE

SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
	7	Quercus rubra	Red oak	B&B, 8cm cal., 1.8m ht/standard	As shown
	5	Pinus monticola	Western white pine	B&B, 8cm cal., 1.8m ht/standard	As shown
	17	Prunus serrulata 'Yowanzan'	Japanese flowering cherry	B&B, 8cm cal., 1.8m ht/standard	As shown

SHRUB SCHEDULE

SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
Y	19	Achillea millefolium 'Desert Eve Yellow'	'Desert Eve' yellow yarrow	#2 F&L full	600mm o.c.
K	24	Arctostaphylos uva-ursi	Kinnikinnick	#2 F&L full	600mm o.c.
BG	29	Buxus 'Green Velvet'	'Green Velvet' boxwood	#2 F&L full	900mm o.c.
CA	27	Ceanothus amandii	Evergreen ceanothus	#2 F&L full	600mm o.c.
E	42	Eurythmus alatus	Winged burning bush	#2 F&L full	1200mm o.c.
J	51	Eurythmus japonicus 'Paloma Blanco'	'Paloma Blanca' euonymus	#2 F&L full	450mm o.c.
JH	11	Juniperus horizontalis	Creeping juniper	#2 F&L full	1200mm o.c.
C	27	Juniperus savin	Savin juniper	#2 F&L full	1200mm o.c.
L	14	Lonicera 'Mandarin'	'Mandarin' honeysuckle	#2 F&L full	600mm o.c.
P	17	Potentilla fruticosa 'Goldfinger'	'Goldfinger' potentilla	#2 F&L full	1200mm o.c.
X	11	Salix purpurea	Arctic willow	#2 F&L full	1500mm o.c.
SJ	11	Spiraea japonica 'Goldmound'	'Goldmound' spirea	#2 F&L full	900mm o.c.
T	42	Taxus x media 'Hill'	'Hill' yew	#2 F&L full	900mm o.c.

- ### PLANTING NOTES:
- All work of the contractor shall meet or exceed all standards and specifications established in the latest edition of the Canadian Landscape Standard.
 - All plant material must be certified to be free of sudden oak death (phytophthora ramorum), according to the Canadian Food Inspection Agency (C.F.I.A.), or C.S.L.A. standards; plant material to be made available for optional inspection by the Contract Administrator at source of supply.
 - The contractor shall provide a (1) year replacement warranty on all plant material to the owner from the date of substantial completion.
 - The quantities shown on the plan shall take precedence over the quantities shown on the plant list. The contractor shall notify the Contract Administrator of any discrepancies prior to ordering and installing plant material.
 - The contractor shall not substitute plant material or products without written consent of the Contract Administrator. The contractor shall be responsible for the removal and replacement of any unapproved substitutions.
 - Arrange plants in containers for consultant's review and approval of placement prior to installation.
 - All trees are to be planted with trunk flare at finished grade to match original nursery grade. Contractor to obtain consultant's approval of final tree depth prior to placement of finished material. Trees planted at improper depth and without final approval may be subject to removal at contractor's expense.
 - Growing medium shall meet the following Canadian Landscape Standard:
 - Planting beds: 20"
 - The contractor shall provide a soil sample and test to the contract administrator demonstrating that the growing medium meets these specifications prior to delivery to the site. The contractor will be responsible for the removal and replacement of any untested / non specification growing medium at their own expense.
 - Placement - the contractor shall place the growing medium at the following minimum depths:
 - Trees: 900mm
 - Planting beds: 450mm
 - Contractor shall supply and place composted bark mulch 50mm deep. Mulch is not to bury tree trunk flare. Accommodate for mulch depth when planting trees. Sample of mulch to be provided to consultant for approval prior to placement.

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LANDSCAPE ARCHITECTURE | URBAN DESIGN | PLANNING | ENGINEERING
7000 - 340 HOME STREET, VANCOUVER B.C. V6J 2M4

PROJECT: **BCH 702 NICOL STREET | NANAIMO, B.C.**

CLIENT: **BC HOUSING**

CONSULTANT: **WSP**

0 1 100 5

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0	2020/02/25	ISSUED FOR DEVELOPMENT PERMIT	MH

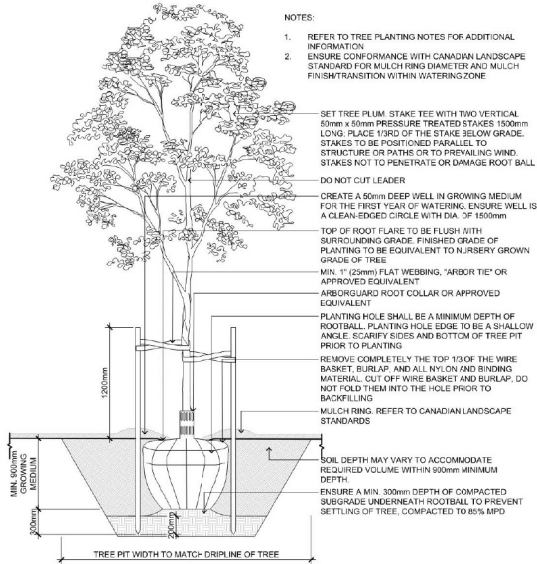
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DESIGNED BY: MH
DRAWN BY: LN
CHECKED BY: RP
PROJECT # 20M 02N 00
SCALE: 1:50

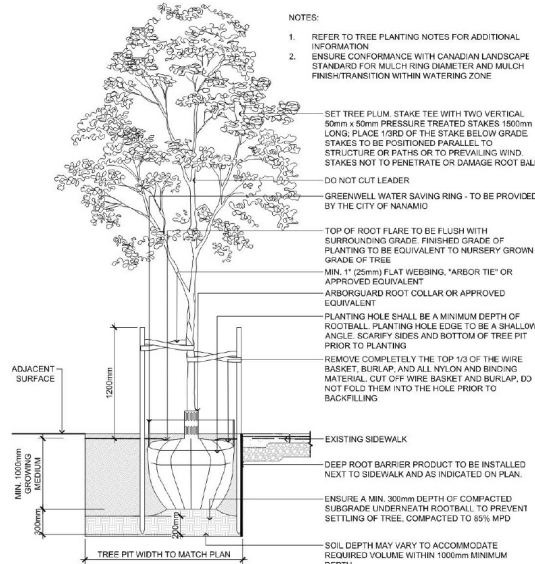
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SHEET NO.:

L-03



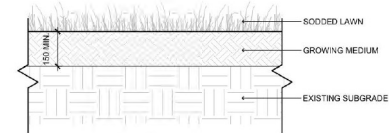
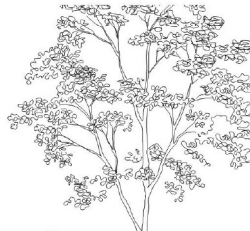
1 TREE PLANTING
L-04 SCALE: 1:25



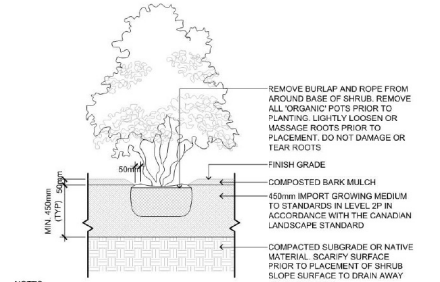
2 TREE PLANTING ADJACENT TO SIDEWALK
L-04 SCALE: 1:25

TREE PROTECTION DISTANCE TABLE

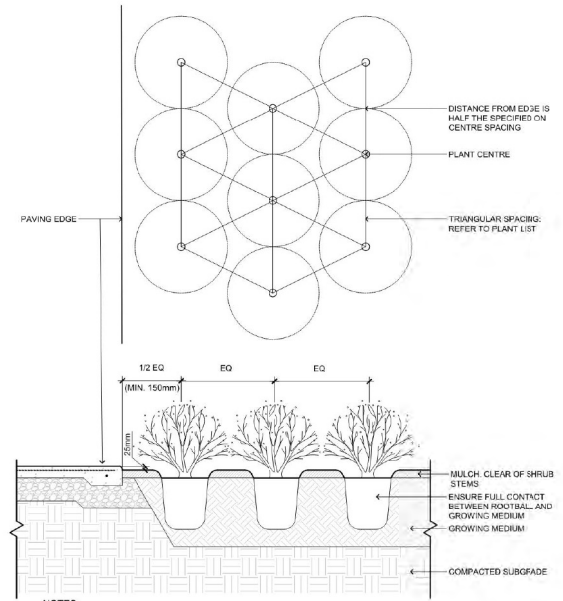
TRUNK DIAMETER	MIN. DISTANCE FROM TRUNK (METERS)
CM	FT
20	0.6
25	0.8
30	1.0
40	1.2
45	1.3
50	1.5
55	1.7
60	2.0
75	2.5
90	3.0
100	3.3



4 SOD
L-04 SCALE: 1:10



3 SHRUB PLANTING DETAIL
L-04 SCALE: 1:20



6 SHRUB SPACING DETAIL
L-04 SCALE: 1:15

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2021-FEB-10

wsp

LANDSCAPE ARCHITECTURE | URBAN DESIGN | PLANNING | ENGINEERING
1000 - 160 HOWE STREET | VANCOUVER, BC, V6Z 2M4

PROJECT
BCH 702 NICOL STREET | NANAIMO, B.C.

CLIENT
BC HOUSING

CONSULTANT
WSP

ORIGINAL SIZE 60 96cm x 96.4cm (24" x 36")

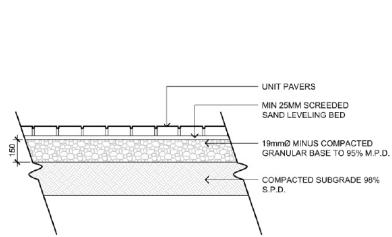
ISSUED FOR REVISED DEVELOPMENT PERMIT

ISSUED FOR DEVELOPMENT PERMIT

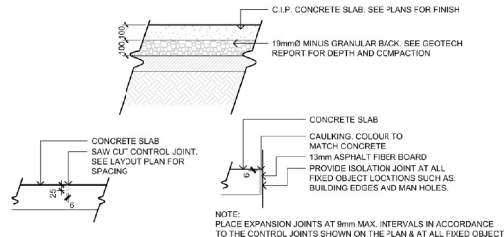
SEAL: 360

DESIGN BY: MH
DRAWN BY: JN
CHECKED BY: DF
PROJECT # 2004 0230 00
SCALE: AS SHOWN

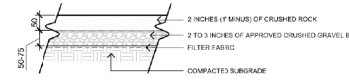
SHEET TITLE: DETAILS
SHEET NO.: L-04



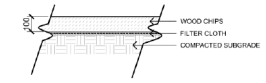
1 UNIT PAVER
L-05 / SCALE: 1:15



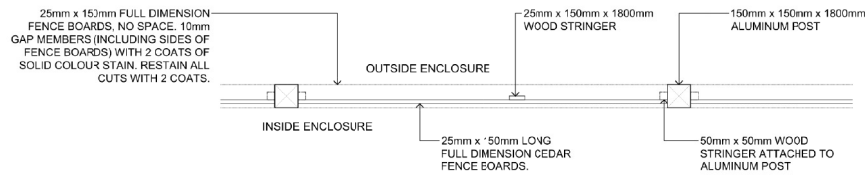
2 C.I.P. CONCRETE
L-05 / SCALE: 1:15



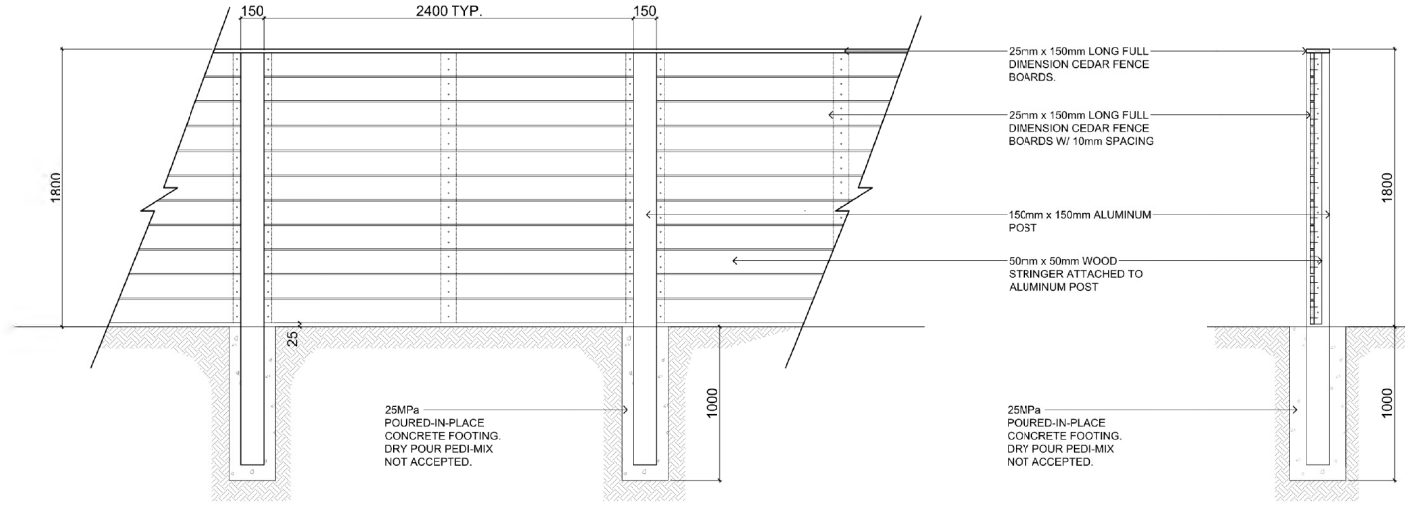
3 GRAVEL
L-05 / SCALE: 1:15



4 WOOD CHIPS
L-05 / SCALE: 1:15



- NOTE:**
1. ALL HARDWARE TO BE GALVANIZED.
 2. ALL STAIN TO BE A SEMI-TRANSPARENT BEHR WOOD STAIN OR APPROVED ALTERNATE. APPLY 2 COATS AS PER MANUFACTURERS SPECIFICATCNS. COLOUR TO BE CEDAR NATURAL TONE SEMI-TRANSPARENT OR APPROVED ALTERNATE. STAIN BOARDS ALL FOUR SIDES PRIOR TO CONSTRUCTION.
 3. REFER TO PLAN FOR FENCING LAYOUT.



5 WOOD FENCE
L-05 / SCALE: 1:15



LANDSCAPE ARCHITECTURE (B.C.) DESIGN (P.L.A.) ENGINEERING
3500 - 104th STREET, VANCOUVER, B.C. V6R 4G4

PROJECT
BCH 702 NICOL STREET | NANAIMO, B.C.

CLIENT
BC HOUSING

CONSULTANT
WSP

ORIGINAL SIZE 60.96cm x 91.44cm (24" x 36")

1	2022/02/10	ISSUED FOR REVISED DEVELOPMENT PERMIT	MH
0	2023/02/25	ISSUED FOR DEVELOPMENT PERMIT	MH

NO. DATE DESCRIPTION BY

SEAL

DESIGN BY: MH
CHECKED BY: SF
PROJECT #: 2044-0210-00
SCALE: AS SHOWN

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2021-FEB-10

SHEET TITLE: **DETAILS**

SHEET NO.:

AS SHOWN

L-05

ATTACHMENT I
SCHEDULE D - AMENITY REQUIREMENTS FOR ADDITIONAL DENSITY
Schedule 1t

Schedule D

Amenity Requirements for Additional Density

In order for a development to include the additional Tier 1 density provided for within this Bylaw, the proposed development must achieve sufficient minimum points required in at least three of the categories set out in the following table which allocates points for amenities, affordable housing and the location of the development.

In order for a development to include the additional Tier 2 density provided for within this Bylaw, the proposed development **must achieve at total of 65 or more** points set out in the following table which allocates points for amenities, affordable housing and the location of the development.

Category 1: Site Selection (10 points required) **Selected for Tier 1**

Amenity		Points
A	The proposed development is located on a brownfield site. This site is a previously rehabilitated brownfield site.	5
B	The proposed development is located on an existing street where the location does not require any new infrastructure such as storms drains, curbs or sidewalks. Located on Nicol street, limited infrastructure work is proposed to remove curb butts along Nicol.	3
C	The proposed development is located within 200m of a park or trail network. Knowles Park is located within 165m	1
D	The proposed development is located within 400m of any of the following: <ul style="list-style-type: none"> • retail store; Alice's located within 129m • daycare facility; Jolly giant Childcare located within 302m • Nanaimo Regional District transit bus stop; Haliburton @ Robins located within 115m Victoria @ Rainer located within 200m • any PRC (Parks, Recreation and Culture)-zoned property; and / or Knowles Park located within 165m • a CS-1 (Community Service One)-zoned property. Bayview elementary School is located within 342m Tillicum Lelum Aboriginal Friendship Centre is located within 350m 	1 point each 5
Total		14 / 20

Category 2: Retention and Restoration of Natural Features (8 points required)
Selected for Tier 1

Amenity		Points
C	The proposed development includes at least 50% retention of natural soils. Minimal site excavation or soil import is proposed for this development	1
E	The proposed development includes street trees. Street Trees are located on both Nicol and Robins	1
F	After re-planting, the proposed development does not result in a net loss of trees with a caliper greater than 6cm. The proposed development will increase the number of trees with a caliper greater than 6cm.	1
G	Post development, the total amount of trees on the property, or adjacent road right-of-way or public space is at least 20% more than the number of trees on the property before development. Prior to development 0 trees The proposed development includes 32 trees Estimated increase is greater than 20%	2
H	Restore a minimum of 50% of the site area (excluding the building footprint) by maintaining pervious surfaces. The pervious surfaces of the proposed development cover 56% of the site area excluding the building footprint. $935 / (2430 - 784.5) = 56\%$	3
I	The development includes permanent educational signage or display(s) regarding the protected or planted plants, trees, animal habitat or other natural features on the site. The proposed development will include signage that will describe the proposed tree species and notable landscape features.	1
Total		9/16

Category 3: Parking and Sustainable Transportation (10 points required)

Amenity		Points
A	<p>Long-term protected bicycle storage is provided and shower and change room facilities are provided to accommodate building employees where applicable.</p> <p>The proposed development includes a secure bicycle storage accessory building and will provide changing and shower facilities for staff.</p>	3
F	<p>The proposed development includes covered and designated parking spaces for a motorized scooter or plug-in for an electronic bicycle or electric scooter, or a designated motorcycle parking space to accommodate the following number of spaces:</p> <ul style="list-style-type: none"> a) multiple-family residential developments: 1 motorized scooter or motorcycle space per 15 dwelling units; and b) non-residential uses: 1 motorized scooter or motorcycle space per 600m² of Gross Floor Area for the first 5000m² plus one space per 1500m² of additional Gross Floor Area; and a) a minimum of one electronic plug-in is provided to accommodate at least one electric scooter or electronic bicycle. <p>The proposed development will include 4 bicycle stalls for electric scooter of bicycles within the bicycle storage building including 2 electronic plug-in for the parked vehicles.</p>	2
H	<p>Parking does not exceed minimum parking requirements within the City's Development Parking Regulations Bylaw.</p>	2
I	<p>The development includes signage or display(s) regarding sustainable transportation alternatives available on site or within the immediate area.</p> <p>The proposed development will include signage that will describe the available bicycle parking.</p>	1
Total		8/20

Category 4: Building Materials (8 points required)

Amenity		Points
A	<p>Wood is the primary building material.</p>	1
C	<p>At least 50% of all wood products used in construction are certified by the Forest Stewardship Council (FSC), the Sustainable Forestry Initiative (SFI), the Canadian Standards Association – Sustainable Forest Management Standard (CSA-SFM), or recognized equivalent.</p> <p>FSC certified wood is used as a standard for BC Housing. At least 50% of wood products will be certified.</p>	3

E	The project developer has submitted a construction and waste management plan that, at a minimum, identifies the materials to be diverted from disposal and whether the materials will be sorted onsite or comingled. BC Housing design guidelines include a waste management plan meeting these requirements. This has been submitted for review by Nanaimo planning.	2
H	The development includes permanent educational signage or display(s) regarding the sustainable use of building materials used during construction of the project. The proposed development will include signage that will describe the use of sustainable building materials including FSC certified wood products.	1
Total		7/16

Category 5: Energy Management (11 points required) Tier 1 selected category

Amenity		Points
B	The proposed development meets at least the requirements of Step 3 of the BC Energy Step Code and exceeds the requirement specified in the Building Bylaw by two steps.* The energy model for the proposed development demonstrates achievement of step 3 of the BC Energy Step Code.	15
D	The development includes permanent education signage or display(s) regarding sustainable energy management practices used onsite. The proposed development will include signage that will describe the energy efficiencies employed in order to achieve step code 3.	1
Total		16

Category 6: Water Management (8 points required)

Amenity		Points
A	At least 50% of the property is covered with a permeable surface area which may include a green roof. At least 56% of the site is covered by a permeable surface.	2
B	The proposed buildings on the property include plumbing features which will use 35% less water than the BC Building Code standard.	2

	The proposed development will include plumbing fixtures that will use at least 35% less water than the building code standard.	
F	A water efficient irrigation system (such as drip) is installed. The proposed development will include a drip irrigation system.	1
G	The proposed development includes a rain garden, cistern, bioswale or storm water retention pond on the property. The proposed development includes a storm water cistern.	2
H	The development site includes permanent educational signage or a display(s) regarding sustainable water management practices used on site. The proposed development will include signage that will describe the sustainable water management practices used on site including the use of permeable surfaces and water efficient landscaping.	1
Total		8/16

Category 7: Social and Cultural Sustainability (10 points required)

Amenity		Points
C	The developer agrees to enter into a Housing Agreement with the City of Nanaimo to ensure that at least 50% of all residential units shall not be stratified or sold independently for at least ten years after the building receives final occupancy. BC Housing has entered into this Housing agreement	3
H	A dedicated garden space is provided to building residents and/or members of the community in which users are given the opportunity to garden. The proposed development includes a dedicated gardening space for the residents of the building.	1
Total		4/21


165 points total

TOTAL - 66

ATTACHMENT J
AERIAL PHOTO



DEVELOPMENT PERMIT APPLICATION NO. DP001209

 702 NICOL STREET

CITY OF NANAIMO

BYLAW NO. 7322

A BYLAW TO AUTHORIZE A HOUSING AGREEMENT

WHEREAS Section 483 of the *Local Government Act* provides that Council may enter into a Housing Agreement, which may include terms and conditions agreed to regarding the occupancy of the housing units identified in the Agreement;

AND WHEREAS, Council wishes to enter into such an Agreement with respect to certain housing units located in the City of Nanaimo;

THEREFORE BE IT RESOLVED, that the Council of the City of Nanaimo in open meeting assembled, hereby ENACTS AS FOLLOWS:

1. This Bylaw may be cited for all purposes as the City of Nanaimo "Housing Agreement Bylaw 2021 No. 7322".
2. The Council of the City of Nanaimo hereby authorizes the Mayor and Corporate Officer to enter into an Agreement, on behalf of the City of Nanaimo, in substantially the form attached hereto as Schedule 'A', which sets out the terms and conditions of the occupancy of the housing units identified in the Agreement. The land identified in the Agreement is legally described as PID 000-947-270, LOT A, SECTION 1, NANAIMO DISTRICT, PLAN 41876, CIVIC ADDRESS: 702 NICOL STREET, NANAIMO, BC.
3. Upon execution of the Agreement by the Mayor and Corporate Officer and application of the seal of the City of Nanaimo, this Agreement shall be validly entered into as authorized by this Bylaw.

PASSED FIRST READING: _____

PASSED SECOND READING: _____

PASSED THIRD READING: _____

ADOPTED: _____

MAYOR

CORPORATE OFFICER

Schedule 'A'

HOUSING AGREEMENT – 702 NICOL STREET

THIS AGREEMENT made this ____ day of _____, 2021

BETWEEN:

CITY OF NANAIMO
455 Wallace Street
Nanaimo, BC
V9R 5J6

(the “**City**”)

OF THE FIRST PART

AND:

Provincial Rental Housing Corporation
1701-4555 Kingsway
Burnaby, BC
V5H 4V8

(the “**Owner**”)

OF THE SECOND PART

WHEREAS:

- A. The City may, by agreement under Section 483 of the *Local Government Act*, enter into a housing agreement with an owner regarding the occupancy of the housing units identified in the agreement, including but not limited to terms and conditions referred to in Section 483(2) of the *Local Government Act*;
- B. The Owner is the registered owner in fee-simple of the lands described as:

PID 000-947-270, LOT A, SECTION 1, NANAIMO DISTRICT, PLAN 41876,
CIVIC ADDRESS: 702 NICOL STREET, NANAIMO, BC
- C. The Owner wishes to develop a supportive residential housing project with 59 units (dwelling units, sleeping units or combination) intended for occupancy by tenants (the “**Housing Units**”) on (the “**Land**”).
- D. The City wishes to enter into this agreement (the “**Agreement**”) to establish terms and conditions regarding the occupancy of the Housing Units identified in the Agreement and the Owner has agreed.

NOW THEREFORE THIS AGREEMENT WITNESSES that pursuant to Section 483 of the *Local Government Act*, and in consideration of the premises and covenants contained in this Agreement, the parties hereto covenant and agree with the other as follows:

1.0 INTERPRETATION

1.1 The City and the Owner agree that the definitions in the City of Nanaimo's Zoning Bylaw 2011 No. 4500, as amended from time to time, apply to the interpretation of the terms in this Agreement.

2.0 OCCUPANCY OF HOUSING UNITS

2.1 The Owner covenants and agrees with the City that at 100% of the Housing Units in the development will be occupied by low to moderate income individuals, and that if rent is charged to those individuals for the aforementioned units, the rent will not exceed the shelter allowance portion of Income Assistance provided by the BC Ministry of Social Development and Poverty Reduction to eligible individuals.

2.2 The Owner covenants and agrees with the City that a minimum of 100% of all sleeping units or residential units in the development shall not be stratified or sold independently for at least fifteen years after the date of issuance of occupancy for the building.

3.0 ANNUAL REPORT

3.1 The Owner further covenants and agrees that during the term of this Agreement, it will, commencing on the first anniversary of the date an occupancy permit is issued for the building on the Lands, and on that anniversary date annually thereafter, provide to the City's General Manager of Development Services a report in writing confirming that the Housing Units continue to be occupied as required under this Agreement.

4.0 BINDING EFFECT

4.1 This agreement shall ensure to the benefit of and be binding upon the parties hereto and their respective heirs, administrators, executors, successors, administrators and permitted assignees.

5.0 ENFORCEMENT AND WAIVER

5.1 Nothing contained or implied herein shall prejudice or affect the rights and powers of the City in the exercise of its functions under any public or private statutes, bylaws, orders and regulations, all of which may be fully and effectively exercised in relation to the Lands as if this Agreement had not been executed and delivered by the Owner. The waiver by a party of any failure on the part of the other party to perform in accordance with any of the terms or conditions of this Agreement shall not be construed as a waiver of any future or continuing failure, whether similar or dissimilar.

5.2 The parties agree that the City is not obligated to inspect the Lands or to otherwise ensure compliance with this Agreement, nor is the City obligated to remedy any default of this Agreement. A failure by the City to enforce this Agreement shall not constitute a waiver of any of the City's rights hereunder.

- 5.3 No remedy under this Agreement is deemed to be exclusive but will, where possible, be cumulative with all other remedies available at law or in equity.
- 5.4 The Owner covenants and agrees that, in addition to any remedies that are available under this Agreement or at law, the City is entitled to all equitable remedies, including specific performance, injunction and declarative relief to enforce its rights under this Agreement. The Owner acknowledges that specific performance, injunctive relief (mandatory or otherwise) or other equitable relief may be the only adequate remedy for a default by the Owner under this Agreement.

6.0 NOTICE TO BE REGISTERED IN LAND TITLE OFFICE

- 6.1 Notice of this Agreement shall be registered in the *Land Title Act* by the City at the cost of the Owner in accordance with Section 483 of the *Local Government Act*, and this Agreement shall be binding on all persons who acquire an interest in the Land after registration of this notice.

7.0 TERMINOLOGY

- 7.1 Wherever the singular, masculine or neuter are used throughout this Agreement, the same shall be construed as meaning the plural or the feminine or the body corporate or politic as the context requires.

8.0 BC LAWS GOVERN

- 8.1 This Agreement shall be construed in accordance with and governed by the laws applicable in the Province of British Columbia.

IN WITNESS WHEREOF the parties hereto have set their hands and seals as of the day and year first above written.

CITY OF NANAIMO by its authorized signatories

Mayor, Leonard Krog)
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Corporate Officer)

PROVINCIAL RENTAL HOUSING CORPORATION by its authorized signatories:

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